



Appendix B – DA Sketch



IMPORTANT NOTES & CAUTIONS:-

- These plans (Marked 23388DA Rev A) have been produced for information purposes. ONLY and under NO circumstance SHALL they be used for Construction
- These plans have been prepared for an A3 plot at the reduction ratio shown. The accuracy of any enlargement or other reproduction may be less than that of the original
- Any and all proposed levels shown on this drawing are indicative ONLY. Preliminary calculations have not checked for potential conflicts with other services
- Actual grades, levels, locations etc may vary during final design stages.
- This plan has been produced as part of the client's development application proposal and as a result the actual location of buildings, roads etc may vary
- The boundaries shown and adopted for the Servicing Strategy have not been confirmed by field survey
- Lot sizes, easements and all dimensions shown on this plan are indicative only and are subject to Development Application (DA) approval & Civil Design
- This plan is copyright and is not to be copied or reproduced in whole or in part without the prior written approval of Bath, Stewart Associates Pty Ltd. Upon payment of all fees invoiced to complete this survey, the client, shall have a licence to use this drawing, (for which it was originally prepared), without the requirement to obtain the afore
- These notes are an integral part of this plan.

SCHEDULE OF EASEMENTS

- | | | |
|-----|---|----------------|
| (A) | Easement for Transmission Line 20 Wide | ... V447113 |
| (B) | Easement for Access Use and Maintenance of Pipeline 5 Wide | ... DP 807359 |
| (C) | Easement for Access Use and Maintenance of Pipeline 10 Wide | ... DP 807359 |
| (D) | Easement for Overhead Powerlines 20 Wide | ... DP 1254653 |
| (E) | Easement for Overhead Power Lines 30 Wide | ... DP 1183644 |

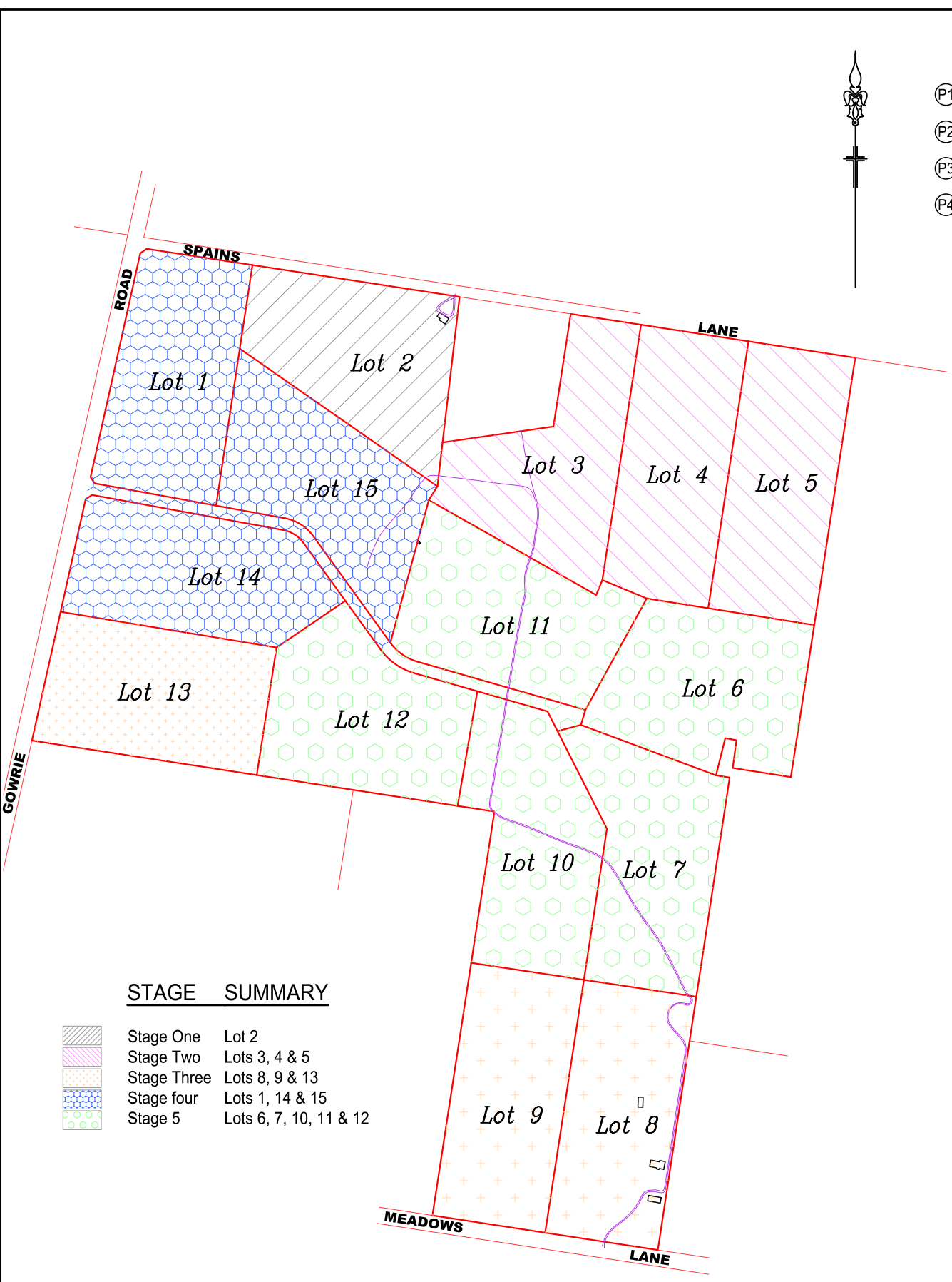
NOTE

- ALL levels, grades, alignments, curves, chainages etc shown on this plan are indicative ONLY. They have been shown to indicate that the site can be designed to suit Tamworth Regional Council's Engineering Minimum Standards (Version 2 - May 2023))
- The FINAL design information shall be subject to the current Engineering Design Guidelines (at the time of design)
- NO Services (current or proposed) are indicated
- The FINAL design shall be subject to the Development Application (DA) conditions imposed by Tamworth Regional Council
- Under NO circumstance SHALL this plan be used for construction or design approval

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LEGEND (EXISTING — LIGHT PROPOSED — DARKER)		Rev.	DESCRIPTION	APPROVED	DATE	Model: 23388V19	Original A3 Drawing Scale Bar: Contours at 1.0m Intervals A3 Scale 1:10,000 100.0 0.0 100.0 200.0	BATH STEWART ASSOCIATES Pty Ltd DEVELOPMENT CONSULTANTS SURVEYORS — ENGINEERS — PLANNERS — PROJECT MANAGERS 239 Marius Street TAMWORTH NSW 2340 Telephone (02) 6766 5966 A.C.N. 659 162 062 office@bathstewart.com.au		ALAN & LEANNE JAMES 348 MEADOWS LANE WARRAL NSW 2340		Ref. No: 23388DA
CENTRE LINE	---					DL: Various	Drawing: 23388DA Rev A	This document / plan / drawing / sketch is the copyright property of Bath Stewart Associates Pty Ltd and shall not be copied or reproduced in part or whole, in any media without written approval, nor shall it be used except for the Development and Site Specified.	©Bath Stewart & Associates Pty Ltd	LOT 41 DP 634499 & LOT 442 DP 807359		Sheet No : 01 of 10
KERB AND GUTTER	---					Survey: G.Haberle	Datum Description: PM 71512 RL 404.552 GDA 2020					Revision : A
TOP OF BATTER	---					Drawn: G.Haberle	Located on the northern side of Spains Lane opposite Regans Road					
SURFACE DRAINAGE	---					Designed: G.Haberle						
EDGE OF BITUMEN SEAL	---					Checked: M.Beath						
FENCELINE	---									EXISTING CONFIGURATION		
SEWERMAIN	---											
WATERMAIN (& SIZE)	---											
STORMWATER DRAINAGE	---											
OVERHEAD POWER	---											
UNDERGROUND ELECTRICAL	---											
TREE	---											
SHRUB	---											
SIGN	---											
SEWER MANHOLE, INSPECTION PIT	---											
DOWNPIPE & ROOFWATER OUTLET	---											
POWER POLE	---											
STREETLIGHT	---											
GUIDE POST	---											
WATER (HYDRANT, VALVE, METER)	---											
TELSTRA PIT AND CABLES	---											
Issued as part of the Development Application (DA) documentation		A		J.Herdegen	30.07.25							



STAGE SUMMARY

	Stage One	Lot 2
	Stage Two	Lots 3, 4 & 5
	Stage Three	Lots 8, 9 & 13
	Stage four	Lots 1, 14 & 15
	Stage 5	Lots 6, 7, 10, 11 & 12

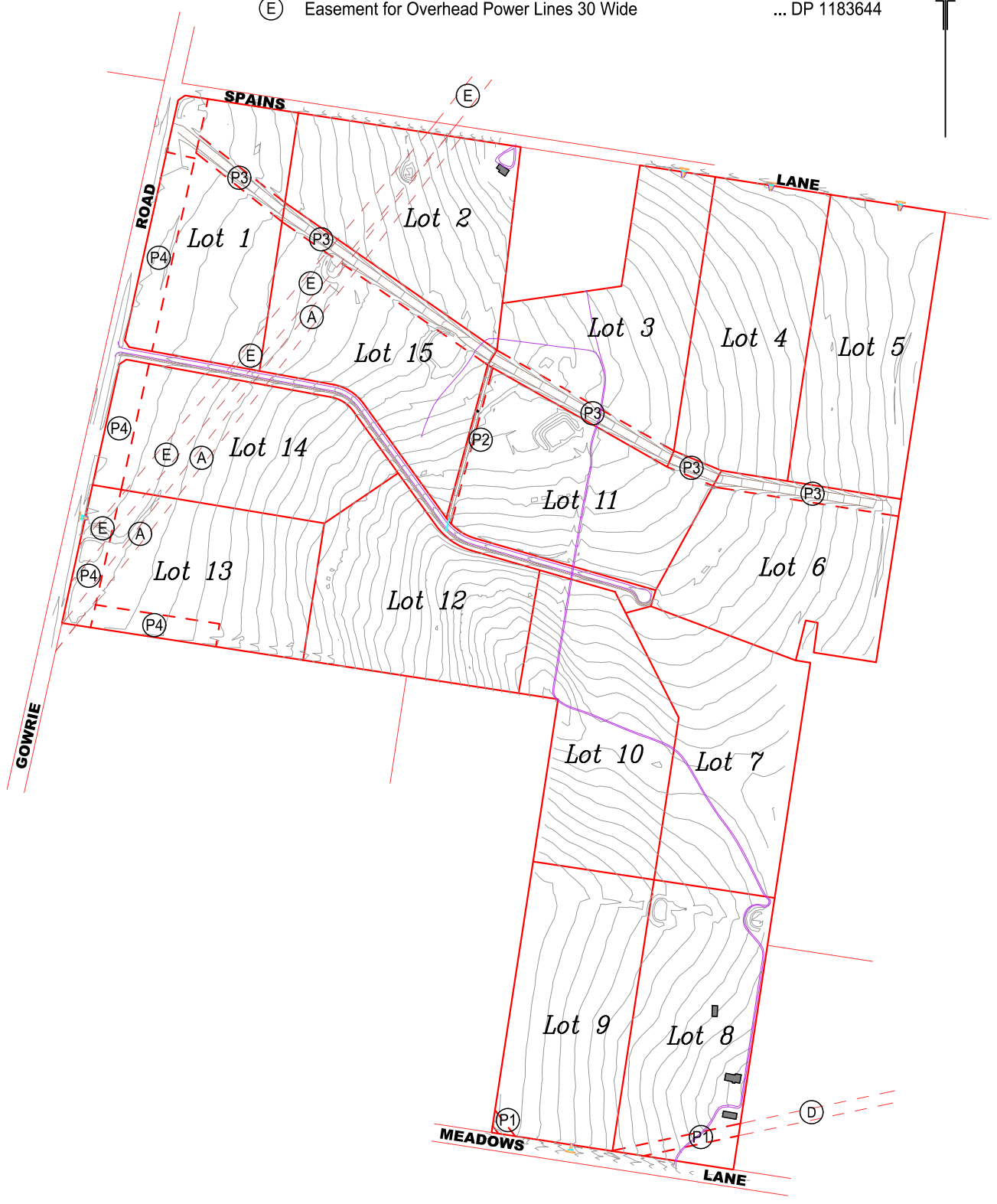
STAGING LAYOUT

PROPOSED SCHEDULE OF EASEMENTS

- P1 Easement for overhead Power Lines 20 Wide
- P2 Easement to Drain Water 10 Wide
- P3 Easement to Drain Water 30 Wide
- P4 Restriction on the Use of Land

EXISTING SCHEDULE OF EASEMENTS

- A Easement for Transmission Line 20 Wide ... V447113
- D Easement for Overhead Powerlines 20 Wide ... DP 1254653
- E Easement for Overhead Power Lines 30 Wide ... DP 1183644

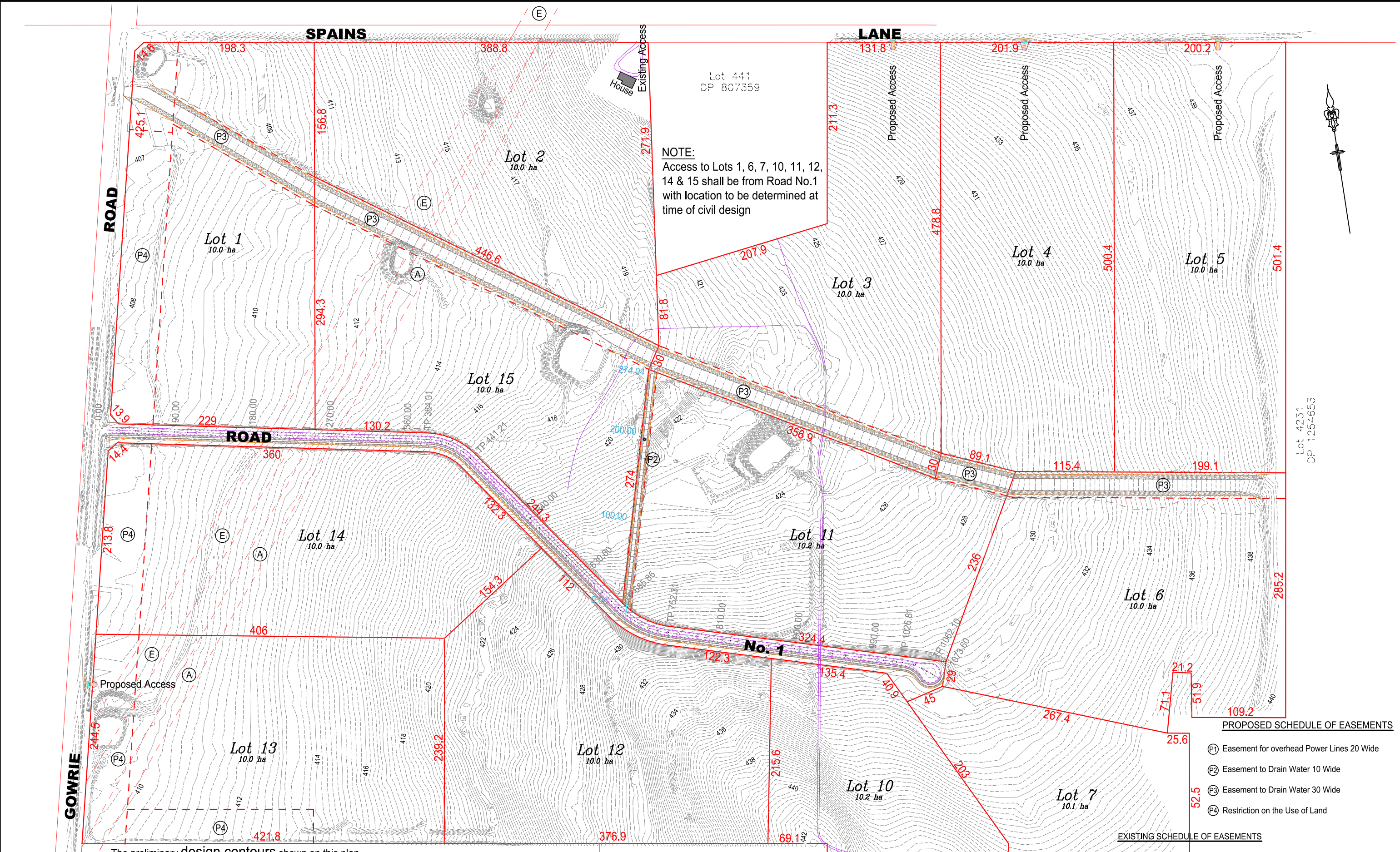


PROPOSED LAYOUT

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LEGEND (EXISTING — LIGHT PROPOSED — DARKER)		Rev.	DESCRIPTION	APPROVED	DATE	Model: 23388V19	Original A3 Drawing Scale Bar: Contours at 1.0m Intervals A3 Scale 1:10,000 100.0 0.0 100.0 200.0	BATH STEWART ASSOCIATES Pty Ltd DEVELOPMENT CONSULTANTS SURVEYORS — ENGINEERS — PLANNERS — PROJECT MANAGERS 239 Marius Street TAMWORTH NSW 2340 Telephone (02) 6766 5966 A.C.N. 659 162 062 This document / plan / drawing / sketch is the copyright property of Bath Stewart Associates Pty Ltd and shall not be copied or reproduced in part or whole, in any media without written approval, nor shall it be used except for the Development and Site Specified.	ALAN & LEANNE JAMES 348 MEADOWS LANE WARRAL NSW 2340 LOT 41 DP 634499 & LOT 442 DP 807359 PROPOSED CONFIGURATION & STAGING PLAN	Ref. No:
CENTRE LINE KERB AND GUTTER TOP OF BATTER SURFACE DRAINAGE EDGE OF BITUMEN SEAL FENCELINE SEWERMAIN WATERMAIN (& SIZE) STORMWATER DRAINAGE OVERHEAD POWER UNDERGROUND ELECTRICAL						Drawing: 23388DA Rev A Datum Description: PM 71512 RL 404.552 GDA 2020 Located on the northern side of Spains Lane opposite Regans Road	23388DA			
TREE SHRUB SIGN SEWER MANHOLE, INSPECTION PIT DOWNPIPE & ROOFWATER OUTLET POWER POLE STREETLIGHT GUIDE POST WATER (HYDRANT, VALVE, METER) TELSTRA PIT AND CABLES							Sheet No : 02 of 10 Revision : A			
		A	Issued as part of the Development Application (DA) documentation	J.Herdeggen	30.07.25	Checked: M.Beath				©Bath Stewart & Associates Pty Ltd



The preliminary design contours shown on this plan are for information only. The final contours shall be determined at detail design phase which shall include reshaping of lots / removal of contour banks / batters etc

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LEGEND (EXISTING - LIGHT PROPOSED - DARKER)

CENTRE LINE	TREE	SHRUB	SIGN
KERB AND GUTTER	SEWER MANHOLE, INSPECTION PIT	DOWNPIPE & ROOFWATER OUTLET	POWER POLE
SURFACE DRAINAGE	STREETLIGHT	GUIDE POST	
EDGE OF BITUMEN SEAL			
FENCELINE			
SEWERMAIN			
WATERMAIN (& SIZE)			
STORMWATER DRAINAGE			
OVERHEAD POWER			
UNDERGROUND ELECTRICAL			
TELSTRA PIT AND CABLES			

APPROVED

DATE

Model: 23388V19

DL: Various

Survey: G.Haberle

Drawn: G.Haberle

Designed: G.Haberle

Checked: M.Beath

Original A3 Drawing Scale Bar:

A3 Scale 1:4,000

40.0 0.0 40.0 80.0

Drawing: 23388DA Rev A

Datum Description: PM 71512 RL 404.552 GDA 2020

Located on the northern side of Spains Lane opposite Regans Road

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ALAN & LEANNE JAMES

348 MEADOWS LANE WARRAL NSW 2340

LOT 41 DP 634499 & LOT 442 DP 807359

PROPOSED LAYOUT (SH 1 of 2)

Ref. No: 23388DA

Sheet No: 03 of 10

Revision: A

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PROPOSED SCHEDULE OF EASEMENTS

- (P1) Easement for overhead Power Lines 20 Wide
- (P2) Easement to Drain Water 10 Wide
- (P3) Easement to Drain Water 30 Wide
- (P4) Restriction on the Use of Land

EXISTING SCHEDULE OF EASEMENTS

- (A) Easement for Transmission Line 20 Wide ... V447113
- (D) Easement for Overhead Powerlines 20 Wide ... DP 1254653
- (E) Easement for Overhead Power Lines 30 Wide ... DP 1183644

1. The location of the property access (centre) has been indicated on site with an indicator staked labeled property access with blue surveyors tape. If in doubt ASK. However, actual location of property accesses may be varied with approval of the new location obtained from Tamworth Regional Council prior to construction
2. Typically the property access shall be constructed as per TRC Std Dwg RD012 - Driveways - Rural Access Across Table Drains
3. The existing surface to be stripped of grass / topsoil to a minimum depth of 100mm
4. The stripped surface to be rolled & compacted with any unsuitable areas replaced with suitable materials
5. All utility services shown on this drawing are approximate only and have been located from survey data & site investigation. It is the responsibility of the contractor to confirm services prior to any and all work on site - phone dial before you dig. Before commencing any excavation or construction on this site, you should contact the relevant authorities for verification of the location & depth of their services
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7. These notes are an integral part of this plan

Typical for All Proposed accesses Off the existing Road Network

Visual Inspection $t_a > 5$ seconds
Distance at 1.15m to 1.15m > 240 m

Ⓟ Easement for overhead Power Lines 20 Wide

(D) Easement for Overhead Powerlines 20 Wide

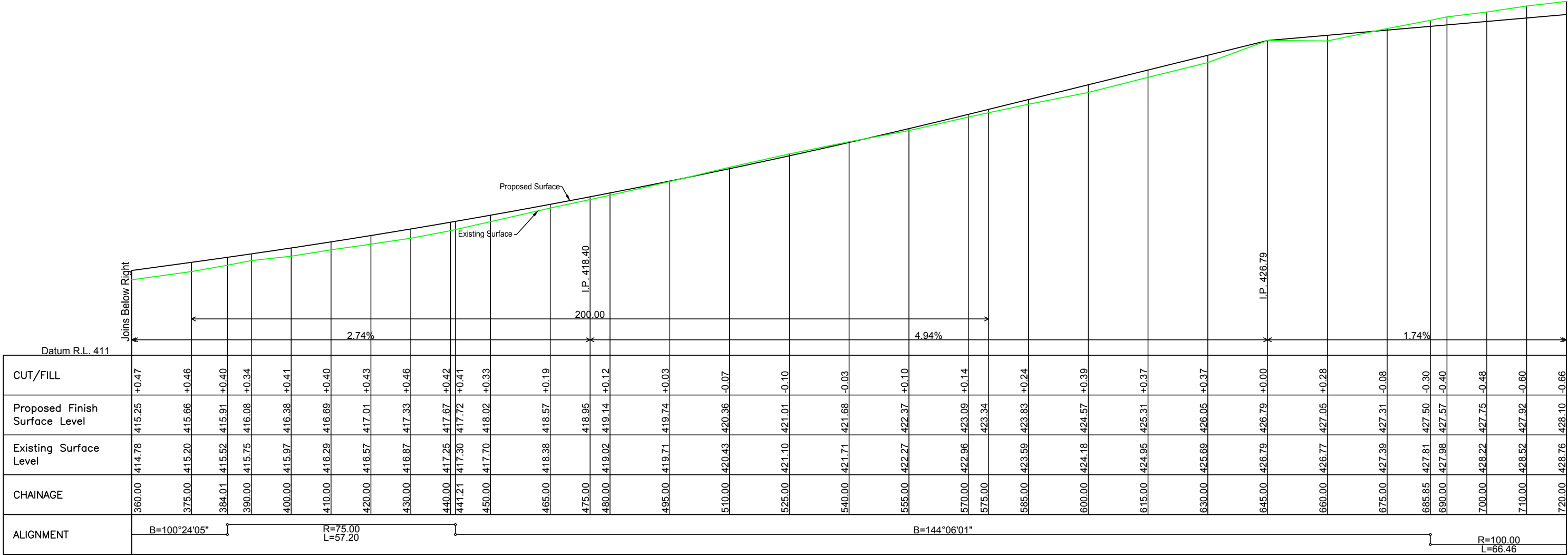
Lot 1	-	Bitumen Seal - Off New Road No 1
Lot 2	-	Existing - Off Spains Lane
Lot 3	-	Gravel - Off Spains lane
Lot 4	-	Gravel - Off Spains lane
Lot 5	-	Gravel - Off Spains Lane
Lot 6	-	Bitumen Seal - Off New Road No 1
Lot 7	-	Bitumen Seal - Off New Road No 1
Lot 8	-	Existing & NO work Required
Lot 9	-	Gravel - Off Meadows Lane
Lot 10	-	Bitumen Seal - Off New Road No 1
Lot 11	-	Bitumen Seal - Off New Road No 1
Lot 12	-	Bitumen Seal - Off New Road No 1
Lot 13	-	Bitumen Seal - Off Gowrie Road
Lot 14	-	Bitumen Seal - Off New Road No 1
Lot 15	-	Bitumen Seal - Off New Road No 1



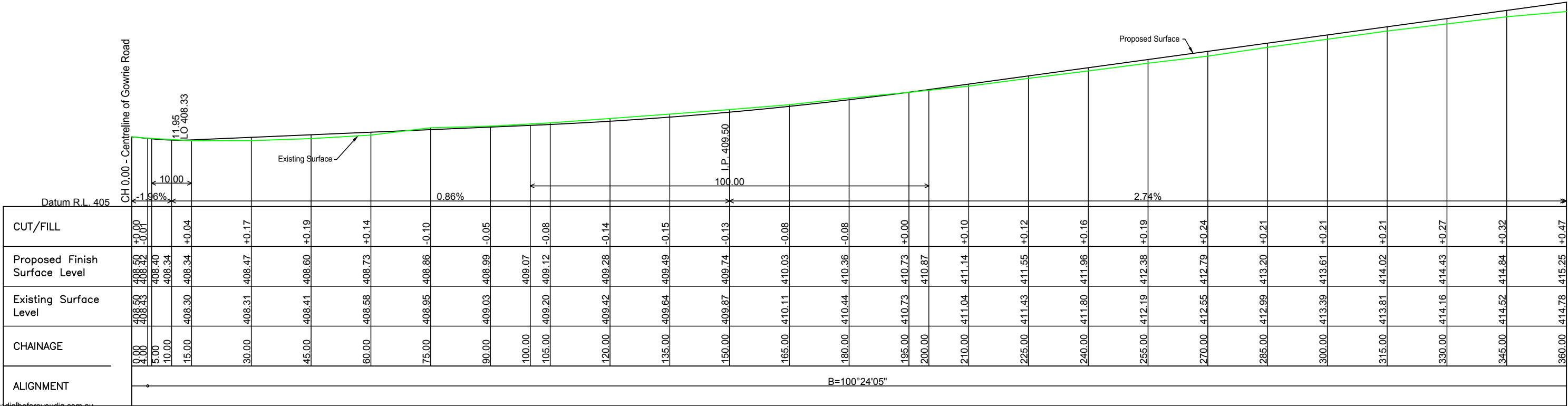
Not to Scale

 **DIAL 1100**
BEFORE YOU DIG

[illegible]



ROAD No.1 - LONGITUDINAL SECTION



ROAD No.1 - LONGITUDINAL SECTION

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LEGEND (EXISTING — LIGHT PROPOSED — DARKER)	Rev.	DESCRIPTION	APPROVED	DATE
CENTRE LINE				
KERB AND GUTTER				
TOP OF BATTER				
SURFACE DRAINAGE				
EDGE OF BITUMEN SEAL				
FENCELINE				
SEWERMAIN				
WATERMAIN (& SIZE)				
STORMWATER DRAINAGE				
OVERHEAD POWER				
UNDERGROUND ELECTRICAL				
TREE				
SHRUB				
SIGN				
SEWER MANHOLE, INSPECTION PIT				
DOWNPIPE & ROOFWATER OUTLET				
POWER POLE				
STREETLIGHT				
GUIDE POST				
WATER (HYDRANT, VALVE, METER)				
TELSTRA PIT AND CABLES				

Rev.	DESCRIPTION	APPROVED	DATE
A	Issued as part of the Development Application (DA) documentation	J.Herdegen	30.07.25

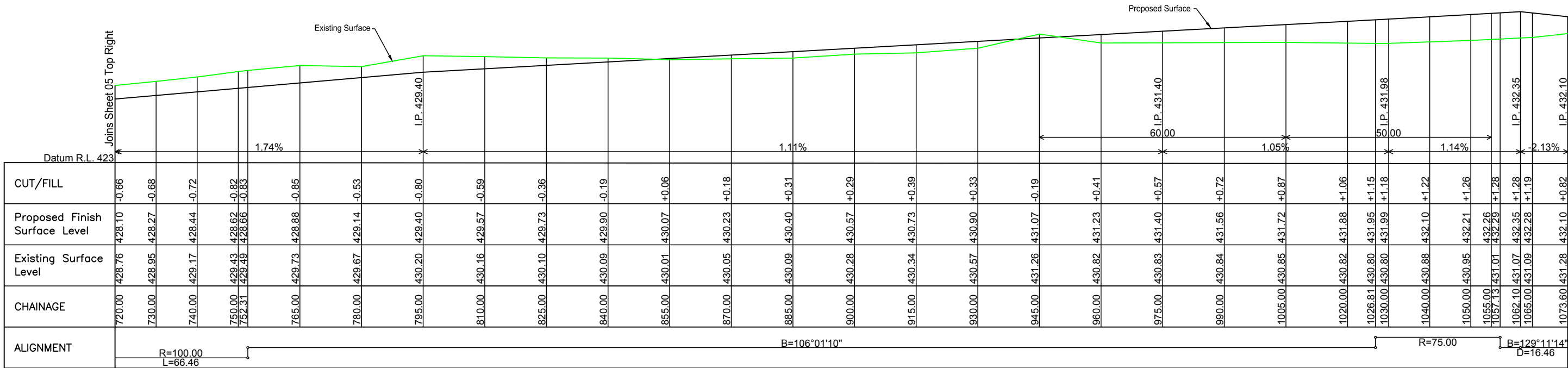
Model:	23388V19
DL:	Various
Survey:	G.Haberle
Drawn:	G.Haberle
Designed:	G.Haberle
Checked:	M.Beath

Original A3 Drawing Scale Bar:
A3 Scale 1:200
2.0 0.0 2.0 4.0
Drawing: 23388DA Rev A
Datum Description:
PM 71512 RL 404.552 GDA 2020
Located on the northern side of
Spains Lane opposite Regans Road

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ALAN & LEANNE JAMES
348 MEADOWS LANE WARRAL NSW 2340
LOT 41 DP 634499 & LOT 442 DP 807359
ROAD No.1 — LONGITINAL SECTION (01 of 02)

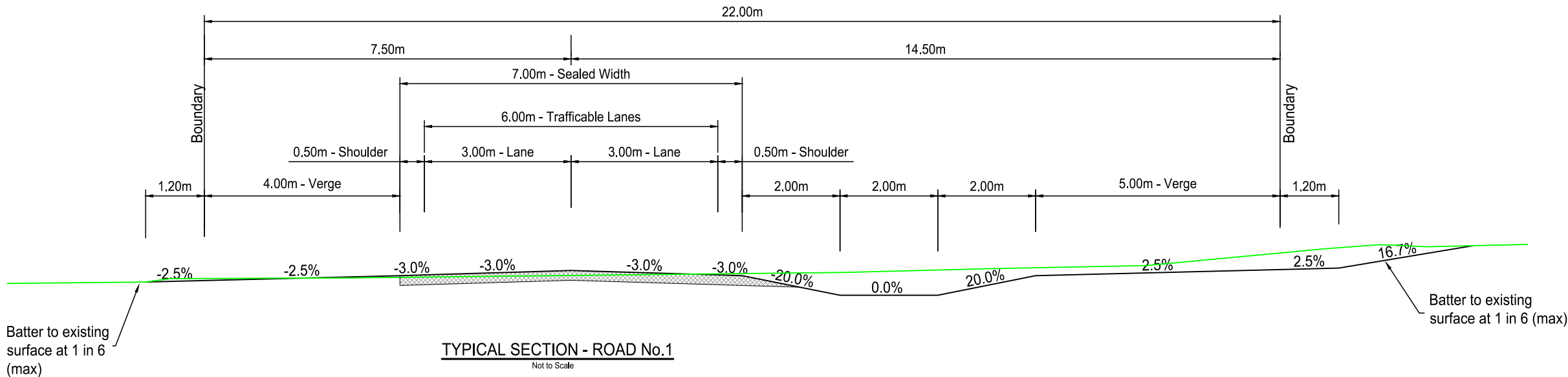
Ref. No: 23388DA
Sheet No: 05 of 10
Revision: A
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ROAD No.1 - LONGITUDINAL SECTION

TYPICAL SECTION NOTES

- The sections shown on this page MAY BE mirrored to suit the detail design. Shown for concept idea only
- The sections shown on this page are preliminary ONLY and have been shown for DA submission purposes
- NO services (Telco, Electrical, Roofwater, Gas or Stormwater) are shown on this plan. It is assumed that were required, they shall be constructed in accordance with the relevant industry standards for the appropriate service
- The location of mains, property connections, levels, grades etc SHALL be determined in the final detail design phase taking into account the DA conditions and other services
- All batter slopes within the road reserves shall be no greater than 1 (V) in 6 (H) and typically no greater than 1 (V) in 4 (H) within proposed allotments



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TOP OF BATTER				
SURFACE DRAINAGE				
EDGE OF BITUMEN SEAL				
FENCELINE				
SEWERMAIN				
WATERMAIN (& SIZE)				
STORMWATER DRAINAGE				
OVERHEAD POWER				
UNDERGROUND ELECTRICAL				
TREE				
SHRUB				
SIGN				
SEWER MANHOLE, INSPECTION PIT				
DOWNPIPE & ROOFWATER OUTLET				
POWER POLE				
STREETLIGHT				
GUIDE POST				
WATER (HYDRANT, VALVE, METER)				
TELSTRA PIT AND CABLES				

Rev.	DESCRIPTION	APPROVED	DATE
A	Issued as part of the Development Application (DA) documentation	J.Herdegen	30.07.25

Model:	23388V19
DL:	Various
Survey:	G.Haberle
Drawn:	G.Haberle
Designed:	G.Haberle
Checked:	M.Beath

Original A3 Drawing Scale Bar:
A3 Scale 1:200
2.0 0.0 2.0 4.0
Drawing: 23388DA Rev A
Datum Description:
PM 71512 RL 404.552 GDA 2020
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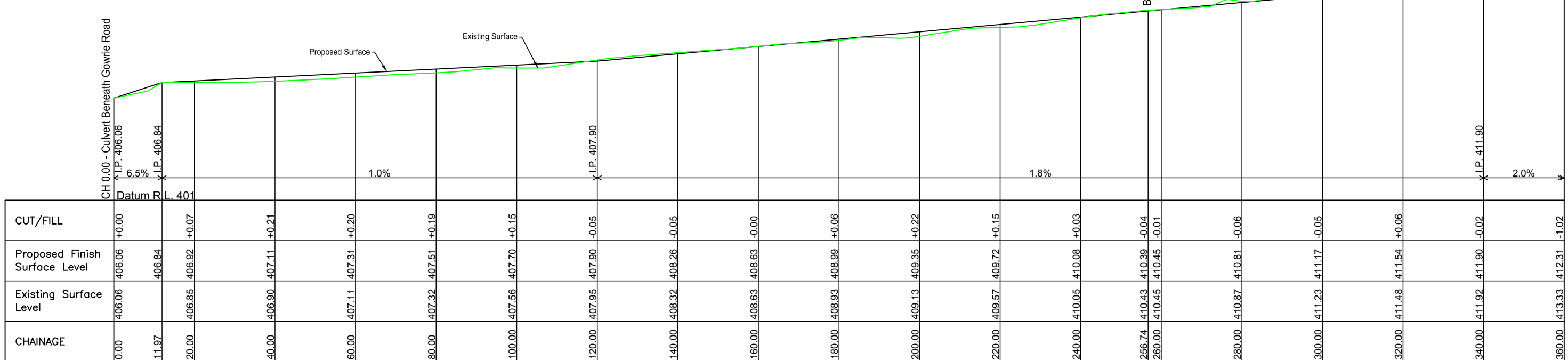
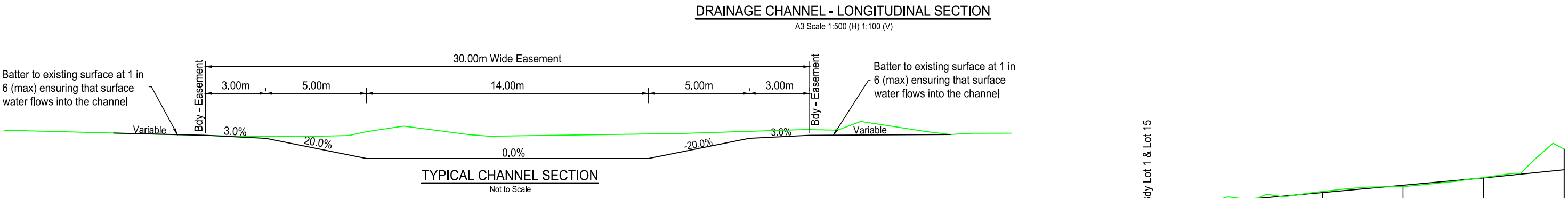
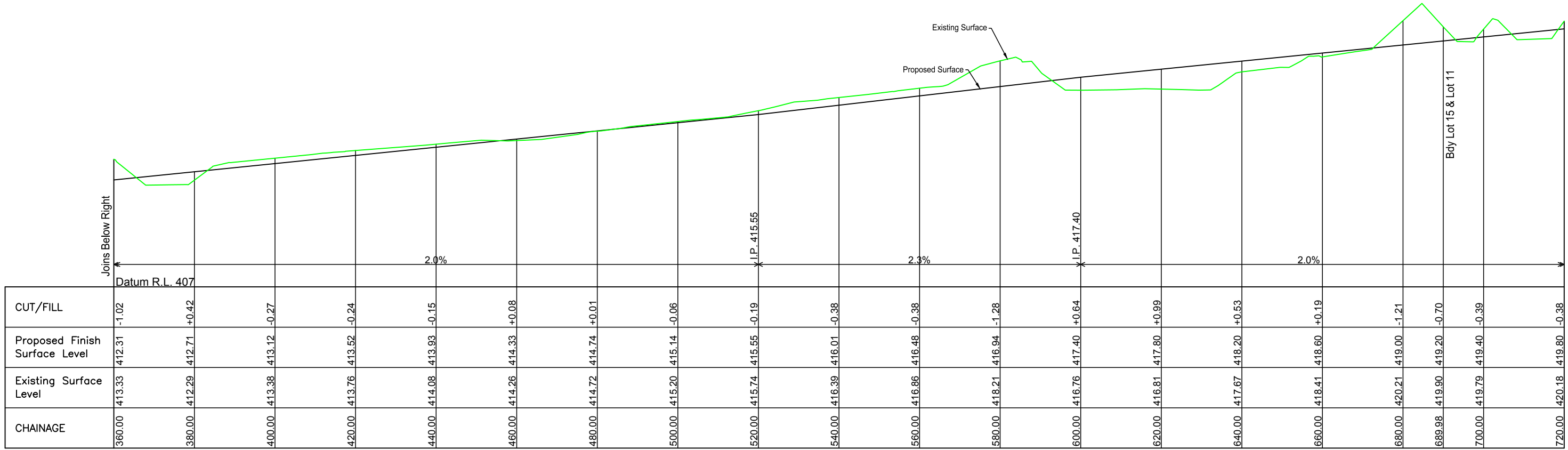
ALAN & LEANNE JAMES

348 MEADOWS LANE WARRAL NSW 2340

LOT 41 DP 634499 & LOT 442 DP 807359

ROAD No.1 — LONGITINAL SECTION (02 of 02) & TYPICAL SECTION

Ref. No:	23388DA
Sheet No :	06 of 10
Revision :	A
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LEGEND (EXISTING — LIGHT PROPOSED — DARKER)	
CENTRE LINE	---
KERB AND GUTTER	---
TOP OF BATTER	---
SURFACE DRAINAGE	---
EDGE OF BITUMEN SEAL	---
FENCELINE	---
SEWERMAIN	---
WATERMAIN (& SIZE)	---
STORMWATER DRAINAGE	---
OVERHEAD POWER	---
UNDERGROUND ELECTRICAL	---
TREE	---
SHRUB	---
SIGN	---
SEWER MANHOLE, INSPECTION PIT	---
DOWNPIPE & ROOFWATER OUTLET	---
POWER POLE	---
STREETLIGHT	---
GUIDE POST	---
WATER (HYDRANT, VALVE, METER)	---
TELSTRA PIT AND CABLES	---

Rev.	DESCRIPTION	APPROVED	DATE
A	Issued as part of the Development Application (DA) documentation	J.Herdegen	30.07.25

Model:	23388V19
DL:	Various
Survey:	G.Haberle
Drawn:	G.Haberle
Designed:	G.Haberle
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Original A3 Drawing Scale Bar:
A3 Scale 1:200
2.0 0.0 2.0 4.0
Drawing: 23388DA Rev A
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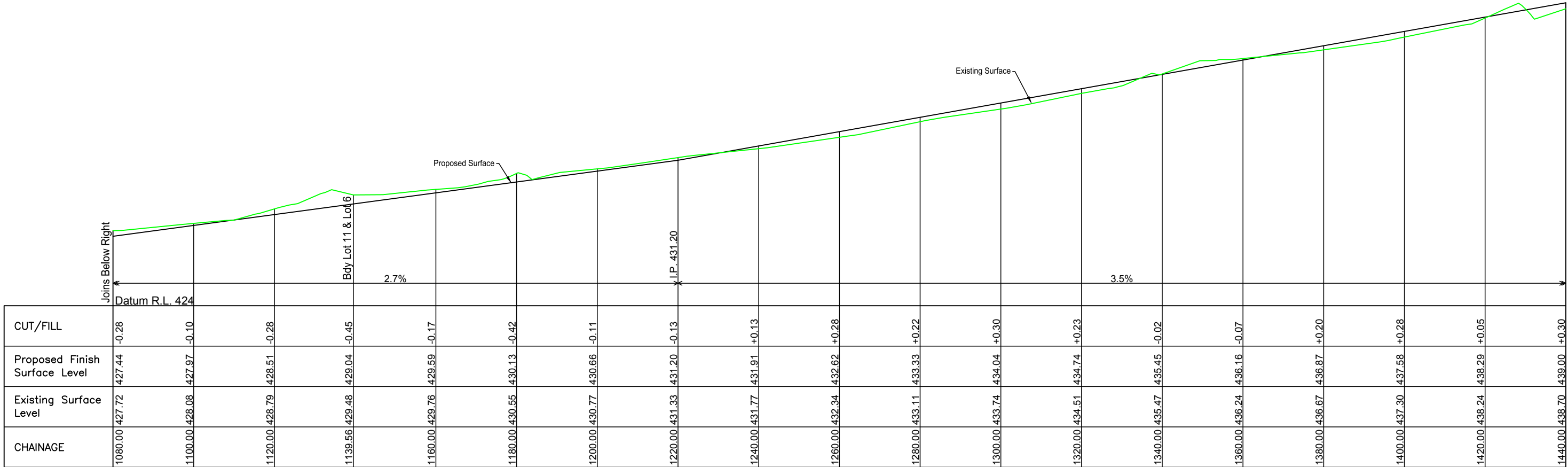
ALAN & LEANNE JAMES
348 MEADOWS LANE WARRAL NSW 2340
LOT 41 DP 634499 & LOT 442 DP 807359
DRAINAGE CHANNEL — LONGITUDINAL SECTION (Sheet 01 of 02)

Ref. No:
23388DA

Sheet No : 08 of 10

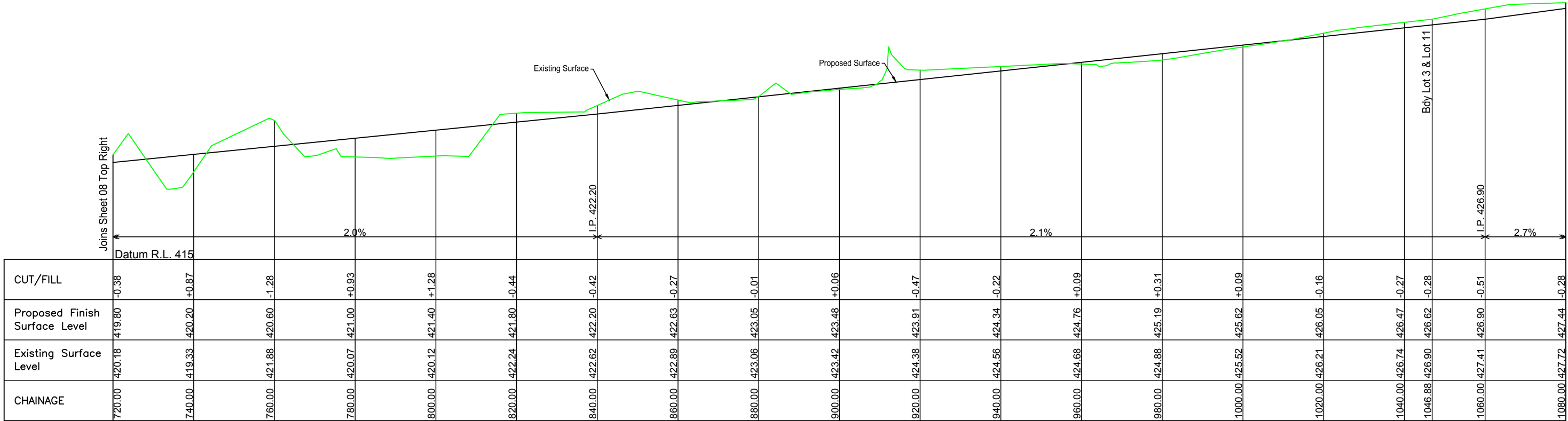
Revision : **A**

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DRAINAGE CHANNEL - LONGITUDINAL SECTION

A3 Scale 1:500 (H) 1:100 (V)



DRAINAGE CHANNEL - LONGITUDINAL SECTION

A3 Scale 1:500 (H) 1:100 (V)

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LEGEND (EXISTING — LIGHT PROPOSED — DARKER)	Rev.
CENTRE LINE	
KERB AND GUTTER	
TOP OF BATTER	
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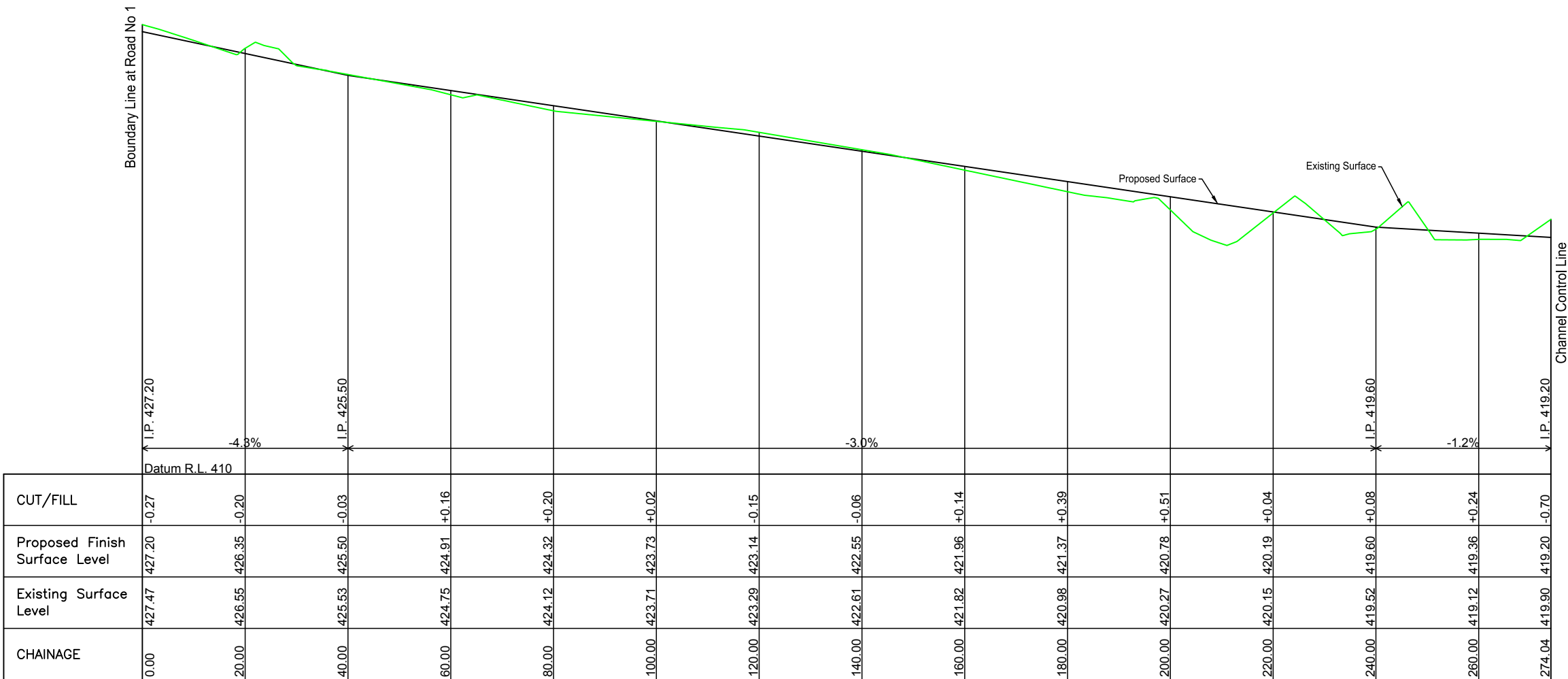
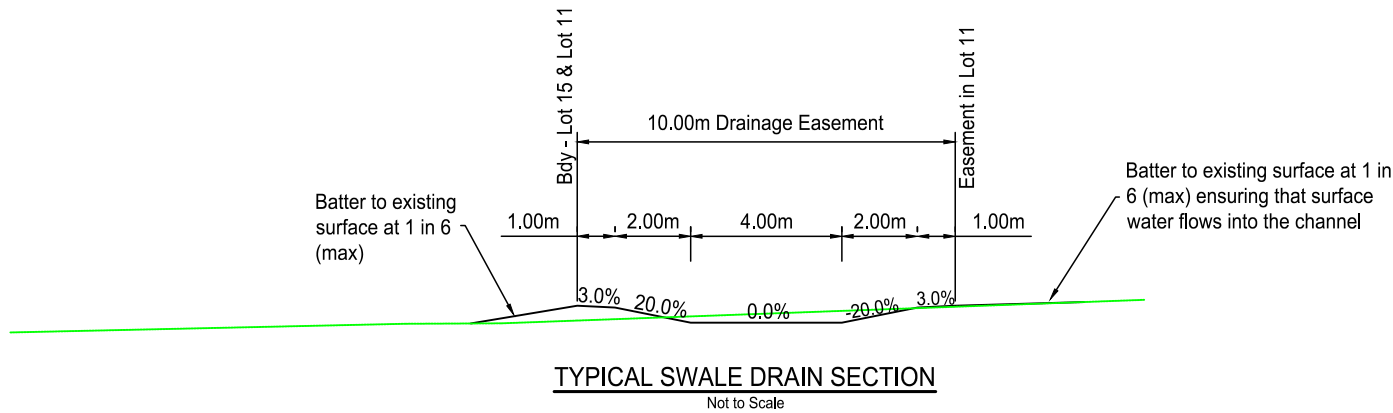
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Designed:	G.Haberle
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2.0 0.0 2.0 4.0
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LOT 41 DP 634499 & LOT 442 DP 807359
DRAINAGE CHANNEL - LONGITUDINAL SECTION (Sheet 02 of 02)

Ref. No: 23388DA
Sheet No: 09 of 10
Revision: A
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SWALE DRAIN - LONGITUDINAL SECTION

A3 Scale 1:500 (H) 1:100 (V)

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LEGEND (EXISTING — LIGHT PROPOSED — DARKER)
CENTRE LINE
KERB AND GUTTER
TOP OF BATTER
SURFACE DRAINAGE
EDGE OF BITUMEN SEAL
FENCELINE
SEWERMAIN
WATERMAIN (& SIZE)
STORMWATER DRAINAGE
OVERHEAD POWER
UNDERGROUND ELECTRICAL
TREE
SHRUB
SIGN
SEWER MANHOLE, INSPECTION PIT
DOWNPIPE & ROOFWATER OUTLET
POWER POLE
STREETLIGHT
GUIDE POST
WATER (HYDRANT, VALVE, METER)
TELSTRA PIT AND CABLES

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A	Issued as part of the Development Application (DA) documentation	J.Herdeggen	30.07.25

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DL:	Various
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A3 Scale 1:200
2.0 0.0 2.0 4.0
Drawing: 23388DA Rev A
Datum Description:
PM 71512 RL 404.552 GDA 2020
Located on the northern side of
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office@bathstewart.com.au

ALAN & LEANNE JAMES
348 MEADOWS LANE WARRAL NSW 2340
LOT 41 DP 634499 & LOT 442 DP 807359
SWALE DRAIN — LONGITUDINAL SECTION

Ref. No:
23388DA
Sheet No : 10 of 10
Revision : **A**
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